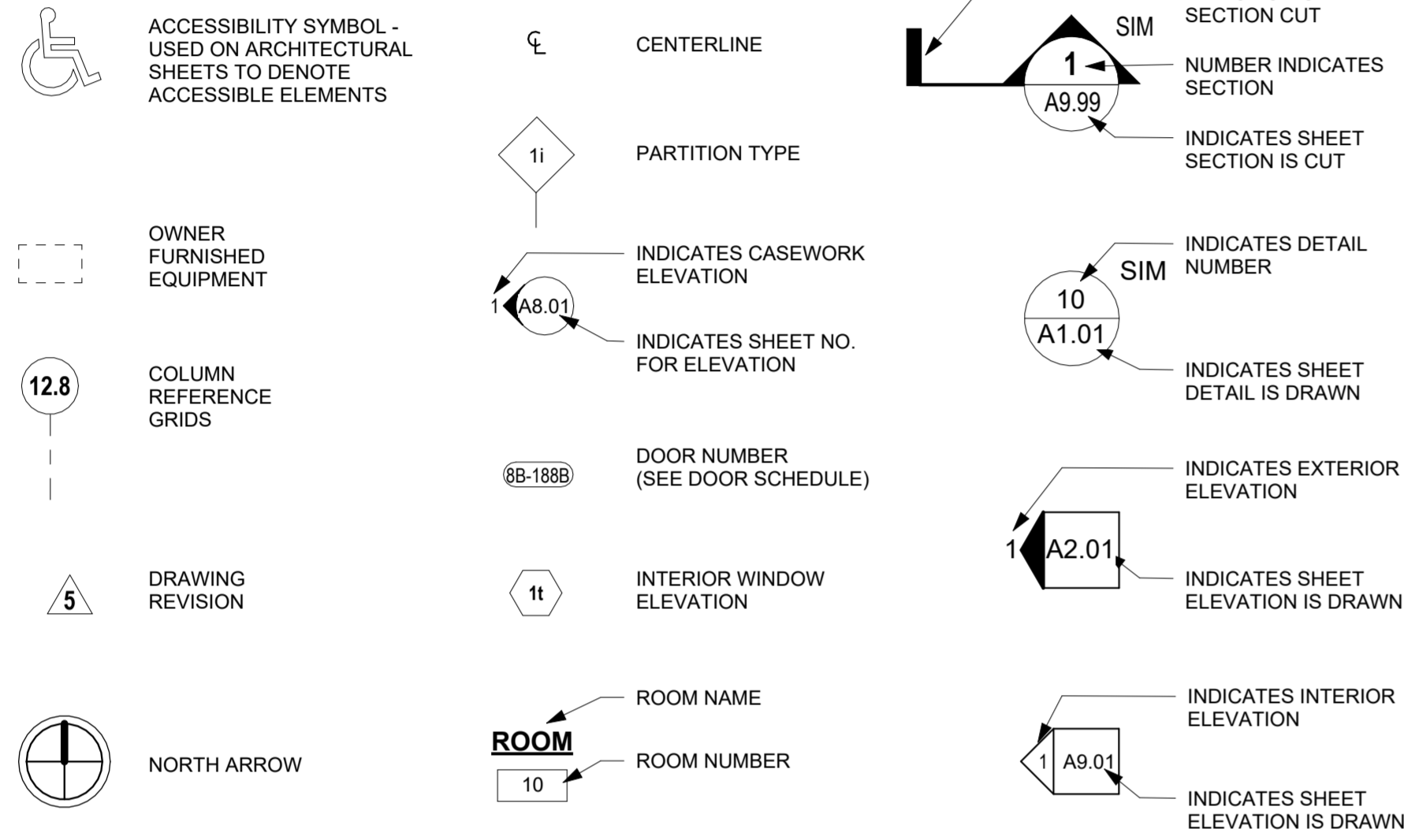


# INTERIOR RENOVATION

1053 GILMORE LAKE RD  
WATERLOO, IL 62298

## GRAPHIC SYMBOLS:

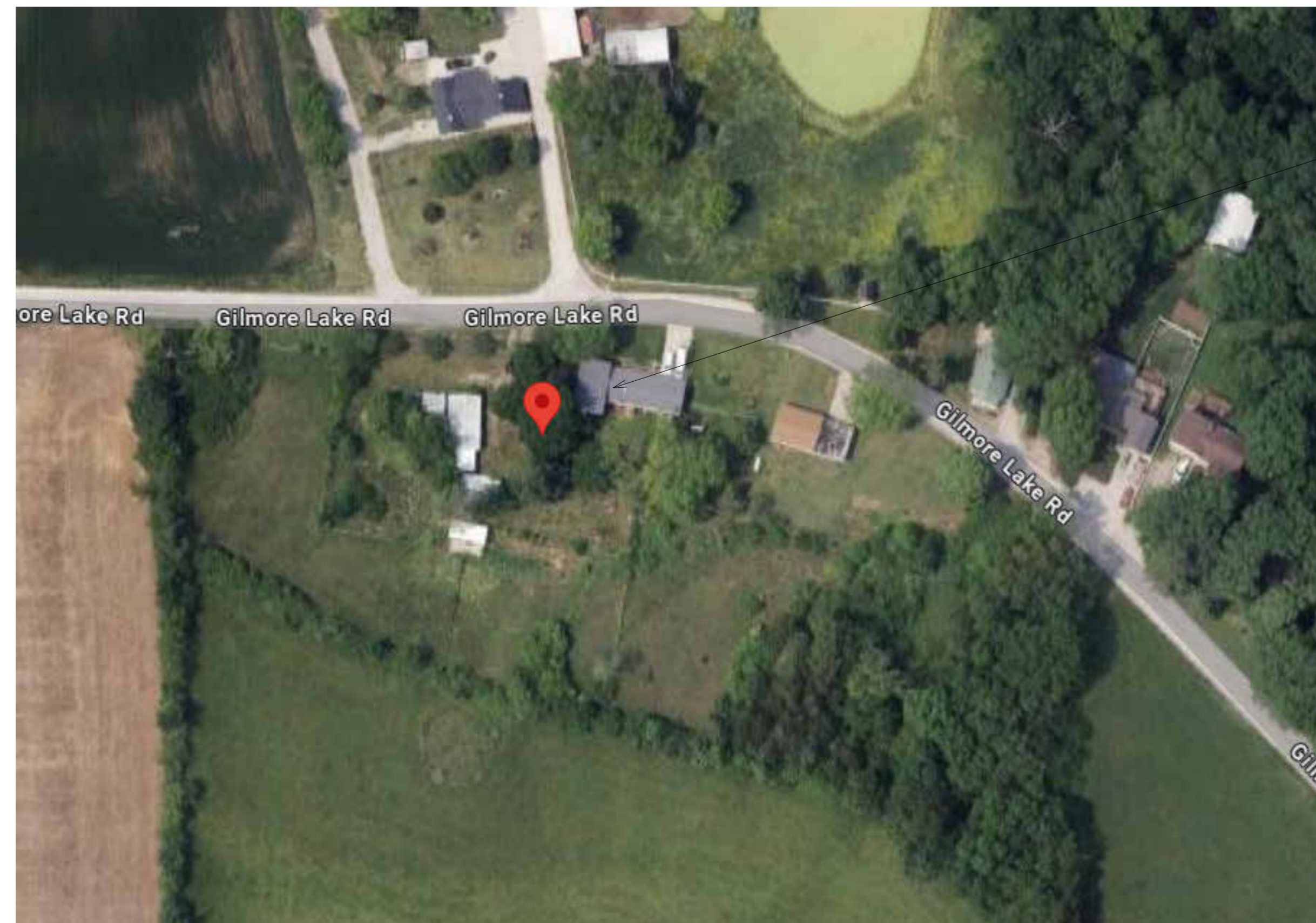


## ABBREVIATIONS:

A.F.F.	- ABOVE FINISH FLOOR	G.I.	- GALVANIZED IRON
ALUM.	- ALUMINUM	GYP. BD.	- GYPSUM BOARD
C.C.	- CENTER TO CENTER	H.M.	- HOLLOW METAL
CONC.	- CONCRETE	INSUL.	- INSULATION
C.G.	- CORNER GUARD	N.C.	- NARCOTICS CABINET
DTL.	- DETAIL	N.I.C.	- NOT IN CONTRACT
D.S.	- DOWNSPOUT	N.T.S.	- NOT TO SCALE
D.F.	- DRINKING FOUNTAIN	O.C.	- ON CENTER
E.P.	- ELECTRICAL PANEL	O.F.E.	- OWNER FURNISHED EQUIPMENT
E.W.C.	- ELECTRIC WATER COOLER	O.F.C.I.	- OWNER FURNISHED CONTRACTOR INSTALLED
E.F.	- EXHAUST FAN	P.T.	- PRESSURE TREATED
E.J.C.	- EXPANSION JOINT COVER	R.D.	- ROOF DRAIN
F.V.	- FIELD VERIFY	S.B.	- SPLASH BLOCK
FIN. FLR.	- FINISHED FLOOR	SIM.	- SIMILAR
F.E.C.	- FIRE EXTINGUISHER CABINET	T/	- TOP OF
F/F.	- FACE TO FACE	TYP.	- TYPICAL
F.H.C.	- FIRE HOSE CABINET	U.N.O.	- UNLESS NOTED OTHERWISE
F.R.	- FIRE RETARDANT	W.R.	- WATER RESISTANT
F.D.	- FLOOR DRAIN		

THIS LIST IS NOT ALL INCLUSIVE

## VICINITY MAP



PROJECT SITE:  
1053 GILMORE LAKE DR.  
WATERLOO, IL 62298

SHEET INDEX					
SHEET NUMBER	SHEET NAME	ISSUE DATE	CURRENT REVISION	CURRENT REVISION DATE	DISCIPLINE
CS1.01	COVER SHEET	09/13/24			00 GEN
D1.01	DEMOLITION PLAN + NOTES	09/13/24			00 GEN
A1.01	FLOOR PLANS	09/13/24			03 ARCH
A1.02	FRAMING PLANS	09/13/24			03 ARCH
A3.01	SCHEDULES + DETAILS	09/13/24			03 ARCH
A6.01	REFLECTED CEILING + ELECTRICAL PLANS	09/13/24			03 ARCH

## GENERAL NOTES:

### GENERAL:

- THIS DOCUMENT IS PROVIDED FOR BASIC CONSTRUCTION PURPOSES ONLY. THE ARCHITECT DOES NOT WARRANT ANY MATERIAL, EQUIPMENT, HARDWARE, ETC. WHETHER IMPLIED OR EXPLICITLY CALLED OUT ON DRAWINGS.
- JOB SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL GENERAL NOTES APPLY TO THE SCOPE OF THIS TOTAL PROJECT, REGARDLESS OF WHETHER OR NOT THEY ARE KEYED ON EVERY SHEET TO A SPECIFIC DETAIL.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION MEETS OR EXCEEDS APPLICABLE CODES AND STANDARD PRACTICES, INCLUDING ALL FEDERAL, STATE, AND LOCAL BUILDING AND ACCESSIBILITY REQUIREMENTS AND REGULATIONS EXCEPT WHERE THESE DOCUMENTS CLEARLY INDICATE THAT PARTICULAR CODES ISSUES HAVE BEEN CONSIDERED AND ADDRESSED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VIOLATIONS NOT SPECIFICALLY ADDRESSED BY THESE DOCUMENTS AND SHALL MAKE ALL WORK ACCEPTABLE TO THE PUBLIC DEPARTMENT INVOLVED WITHOUT EXTRA CHARGE.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY. CONTRACTOR SHALL INCLUDE, AT NO ADDITIONAL COST TO THE OWNER, WORK REQUIRED BY EXISTING CONDITIONS THAT MAY NOT BE NOTED IN THESE DOCUMENTS BUT THAT IS REQUIRED TO COMPLETE THE SCOPE OF WORK SHOWN IN THESE DOCUMENTS UNLESS SUCH CONDITIONS ARE CONCEALED AND COULD NOT BE DETERMINED THROUGH A THOROUGH INVESTIGATION OF THE EXISTING CONDITIONS.
- ALL ITEMS DEPICTED GRAPHICALLY, WHETHER NOTED OR NOT, ARE PART OF THE CONTRACTOR'S SCOPE OF WORK AND SHALL BE PROVIDED AT NO EXTRA CHARGE.
- ALL PERMITS (OCCUPANCY, ELECTRICAL, PLUMBING, AND ALL OTHERS) REQUIRED BY STATE AND LOCAL CODES, EXCEPT THOSE ACQUIRED BY SUBCONTRACTORS, ARE TO BE SECURED BY THE GENERAL CONTRACTOR. PROVIDE COPIES TO THE ARCHITECT WITHOUT EXTRA CHARGE. ALL PERMITS ACQUIRED BY SUBCONTRACTORS SHALL BE SUBMITTED TO THE GENERAL CONTRACTOR FOR RECORD.
- EACH TRADE SHALL VERIFY ALL REQUIREMENTS PERTAINING TO WORK PERFORMED IN THE PROJECT AND OBTAIN ANY REQUIRED PERMITS. ALL SUBCONTRACTORS SHALL DIRECT QUESTIONS, CHANGES OR REQUESTS THROUGH THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL SUBMIT ALL REQUESTS, CHANGES OR QUESTIONS TO THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL CONFIRM THAT THE LAYOUT OF THE SPACE CAN BE ACCOMPLISHED AS DESIGNED. THE ARCHITECT MUST BE NOTIFIED OF ANY PROBLEMS WITH PROPOSED WALL LOCATIONS AFTER THE CHALK LINES ARE IN PLACE AND BEFORE THE FLOOR PLATES ARE FASTENED IN ORDER TO MAKE APPROPRIATE DECISIONS OR ANY NECESSARY ADJUSTMENTS.
- IF UNANTICIPATED MECHANICAL, PLUMBING, ELECTRICAL, OR STRUCTURAL ELEMENTS OR ANY OTHER CONDITIONS ARE ENCOUNTERED WHICH MIGHT CONFLICT WITH THE INTENDED FUNCTION, CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- THE CONTRACTOR SHALL PROMPTLY REMEDY ANY DAMAGE AND/OR LOSS TO PROPERTY (ALL MATERIALS AND EQUIPMENT INCORPORATED INTO THE WORK DESCRIBED HEREIN) CAUSED IN WHOLE OR IN PART BY THE CONTRACTOR, A SUBCONTRACTOR, OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM.
- NO BUILDING MATERIALS CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS SHALL BE INSTALLED ON THIS PROJECT.
- FIRE-RATED PARTITIONS SHALL BE IDENTIFIED AS SUCH IN LARGE RED STENCIL ABOVE CEILINGS.
- THE GENERAL CONTRACTOR SHALL MAINTAIN ALL RATING OF ALL REQUIRED RATED WALLS AT ALL INTERSECTIONS, CONNECTIONS, AND PENETRATIONS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE. EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF WALLS. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- PROVIDE WOOD BLOCKING (FIRE RETARDANT WHERE REQUIRED BY CODE) INSIDE PARTITIONS FOR SECURING WALL-HUNG CABINETS, SHELVING, TRIM, MILLWORK, AND OTHER ELEMENTS ATTACHED TO PARTITIONS, WHETHER OWNER FURNISHED AND INSTALLED OR CONTRACTOR FURNISHED AND INSTALLED, TO ENSURE FLUSH, STRAIGHT, AND WELL-SECURED CONDITIONS.
- COMPLY WITH ALL APPLICABLE ACCESSIBILITY CODES WHEN INSTALLING AND FRAMING OPENINGS FOR DOORS.
- MATERIALS PROVIDED SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN RECOMMENDATIONS AND PER CODE REQUIREMENTS.
- ITEMS REQUIRING FINISH SELECTIONS THAT DO NOT APPEAR IN THE CONSTRUCTION DOCUMENTS SHALL BE SELECTED FROM SHOP DRAWING SUBMITTALS.
- THE CONTRACTOR SHALL COORDINATE THE ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING CONSTRUCTION DOCUMENTS WITH THE VARIOUS CONTRACTORS AND SUBCONTRACTORS INVOLVED.
- ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING SHOWN ON THESE DRAWINGS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
- FOR ELECTRICAL BOXES INSTALLED ON OPPOSITE SIDES OF WALLS, PROVIDE A MINIMUM HORIZONTAL SEPARATION OF ONE STUD SPACING.
- GROUPS OF RECEPTACLES SHALL BE MOUNTED WITH A 1 1/2" MINIMUM DISTANCE BETWEEN FACE PLATES.
- WHEN GRAPHICALLY DEPICTED IN SIMILAR LOCATIONS, ALIGN OUTLETS, THERMOSTATS, AND OR FIRE PROTECTION DEVICES VERTICALLY. OUTLETS GRAPHICALLY DEPICTED TO BE CENTERED IN A PARTICULAR WALL SHOULD BE MEASURED IN THE FIELD AND LOCATED IN THE CENTER OF THE WALL UNLESS NOTED OTHERWISE.
- CONTRACTOR TO VERIFY AND PROVIDE ALL ELECTRICAL REQUIREMENTS FOR ALL OWNER FURNISHED, OWNER INSTALLED AND CONTRACTOR FURNISHED, CONTRACTOR INSTALLED EQUIPMENT AND APPLIANCES, INCLUDING BUT NOT LIMITED TO COFFEE MAKERS, MICROWAVES, REFRIGERATOR, COPIERS, PRINTERS, FAX MACHINES, ETC.
- ALL SIGNAGE, EXCLUDING TEMPORARY ADA SIGNAGE, TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR TO PROVIDE BLACK BACKGROUND ADA SIGNAGE AS REQUIRED BY CODE.
- SLOPE ALL HORIZONTAL SURFACES TO DRAIN SUCH THAT THERE WILL BE NO PONDING OF WATER. CORRECT AREAS OF PONDING AT NO ADDITIONAL COST TO OWNER.
- IN AREAS IN WHICH WORK IS DONE, SEAL ALL WALL PENETRATIONS EXISTING AND NEW TO MAINTAIN THE INTEGRITY OF THE EXISTING WALLS AND NEW WALLS WITH U.L. LISTED FIRE ASSEMBLIES.
- THE DRYWALL SYSTEM IS BASED ON DETAILS OF THE U.S. GYPSUM COMPANY.
- ALL GYPSUM BOARD ABUTTING OTHER MATERIALS IS TO BE FINISHED WITH METAL EDGES OR FIRE-STOPPED AS REQUIRED.
- WATER RESISTANT GYPSUM BOARD IS TO BE USED BEHIND ALL PLUMBING FIXTURES & CERAMIC TILE AND OTHER WET AREAS.
- DIMENSIONS ARE TO BE COORDINATED WITH ALL DISCIPLINES, VENDORS, O.F.E. AND DEVICES TO ASSURE PROPER PLACEMENT AND WARRANTY REQUIREMENTS.

### CONCRETE:

- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL (2000 psf MIN. SOIL BEARING CAPACITY) AND BE A MIN. OF 2" - 8" BELOW GRADE.
- BASEMENT SLAB SHALL BE 4" REINFORCED 3,000 psi CONCRETE INSTALLED OVER 6-MIL VAPOR BARRIER AND 4" MIN. COMPACTED GRANULAR FILL WITH APPROVED TERMITE TREATMENT.
- BASEMENT WALLS AND FLOORS SHALL BE TREATED TO PROVIDE RESISTANCE TO THE INFILTRATION OF WATER AND PROPERLY REINFORCED TO WITHSTAND HYDROSTATIC PRESSURE AS NECESSARY. ALL JOINTS IN WALLS AND FLOORS TO BE CAULKED AND MADE WATERTIGHT.
- SLABS ON GRADE SHALL BE 4" 3,000psi CONCRETE WITH 1 1/2 lb/cy POLYPROPYLENE FIBERS, OR 6x6 #10/10 WWM REINFORCEMENT PLACED IN CENTER OF SLAB THICKNESS, U.N.O.
- SLAB FINISHES: EXTERIOR WALKING SURFACES - MEDIUM BROOM; DRIVING SURFACES - MEDIUM BROOM; INTERIOR SURFACES - STEEL TROWEL.
- PLACE CRACK CONTROL JOINTS AT 12' - 0" MAX. U.N.O. UNINTERRUPTED CONCRETE SLAB-ON-GRADE AREAS SHOULD NOT EXCEED 144 sq ft MAX OR A 2- TO-1 WIDTH-TO-LENGTH RATIO. CONTRACTOR SHOULD SUBMIT A CONTROL JOINT LAYOUT FOR ARCHITECT'S REVIEW PRIOR TO CONCRETE POUR.
- STEEL REINFORCING SHALL HAVE A MINIMUM OF 2" CONCRETE COVER U.N.O.
- SLEEVE ALL PIPES THROUGH SLABS INDIVIDUALLY. WHERE PIPES OR DUCTS PENETRATE SLAB, (2) BARS EW MAX. MAY BE CUT. PROVIDE SPLICE BARS ALONGSIDE OPENING WITH EQUIVALENT AREA TO THE CUT BARS, WITH 36-dia BAR LAP. PLACE ALL OPENINGS LARGER THAN 6" NOT SHOWN ON STRUCTURAL DRAWINGS AND ALL CONDUITS IN SLABS IN ACCORDANCE WITH IRC. PROVIDE (1) #5 x 6" - 0" EW PLACED DIAGONALLY AT MID-DEPTH AROUND ALL OPENINGS LARGER THAN 12" - 0", U.N.O.
- ALL VOIDS UNDER BASEMENT, GARAGE, EXTERIOR PORCH OR STAIR SLABS TO BE FILLED WITH CLEAN, COMPACTED GRANULAR FILL.

ISSUED  
DESCRIPTION  
DATE

PERMIT SET  
09/10/24

REVISION

REV NUMBER DESCRIPTION DATE

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SHEET NAME

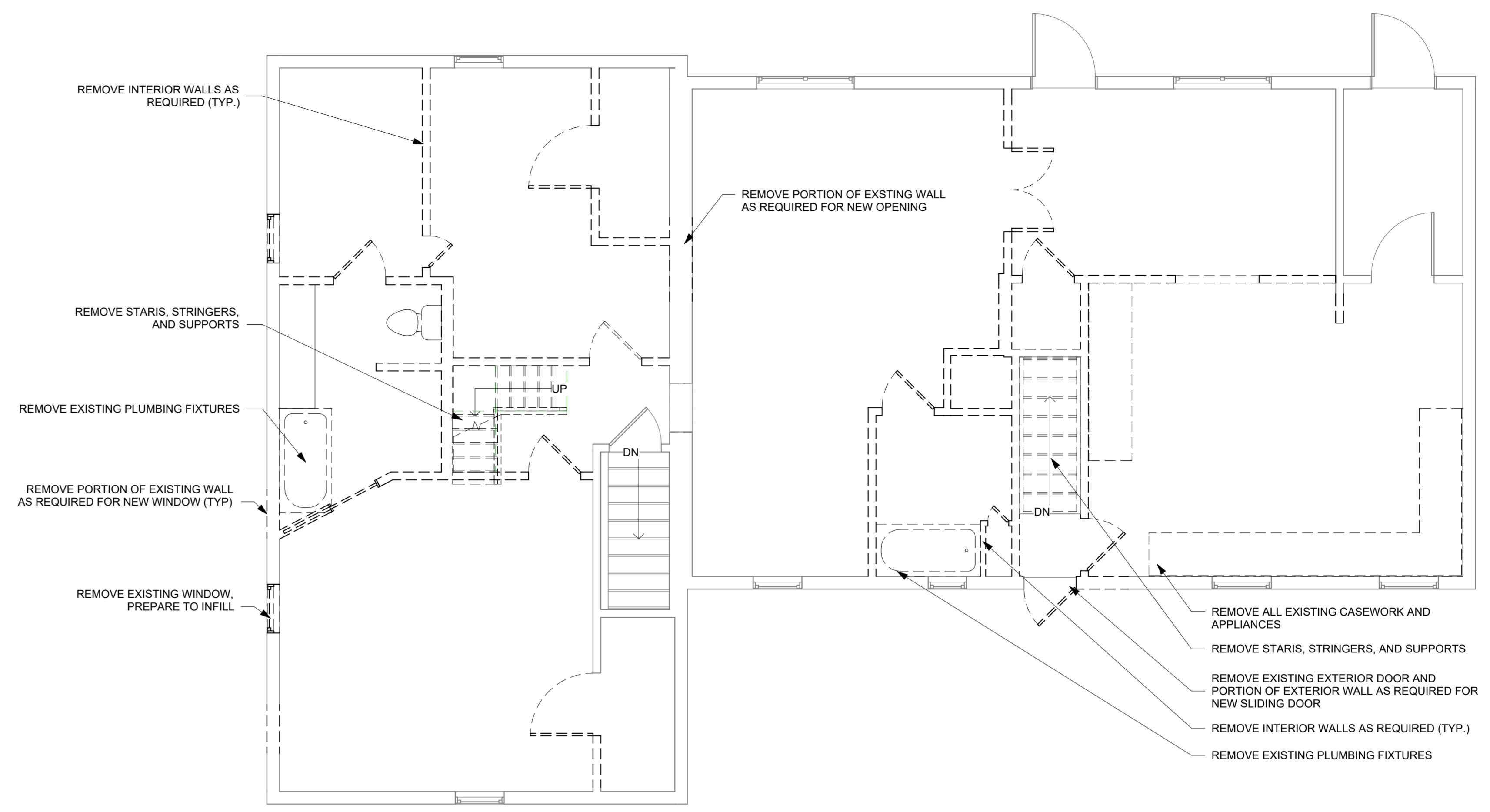
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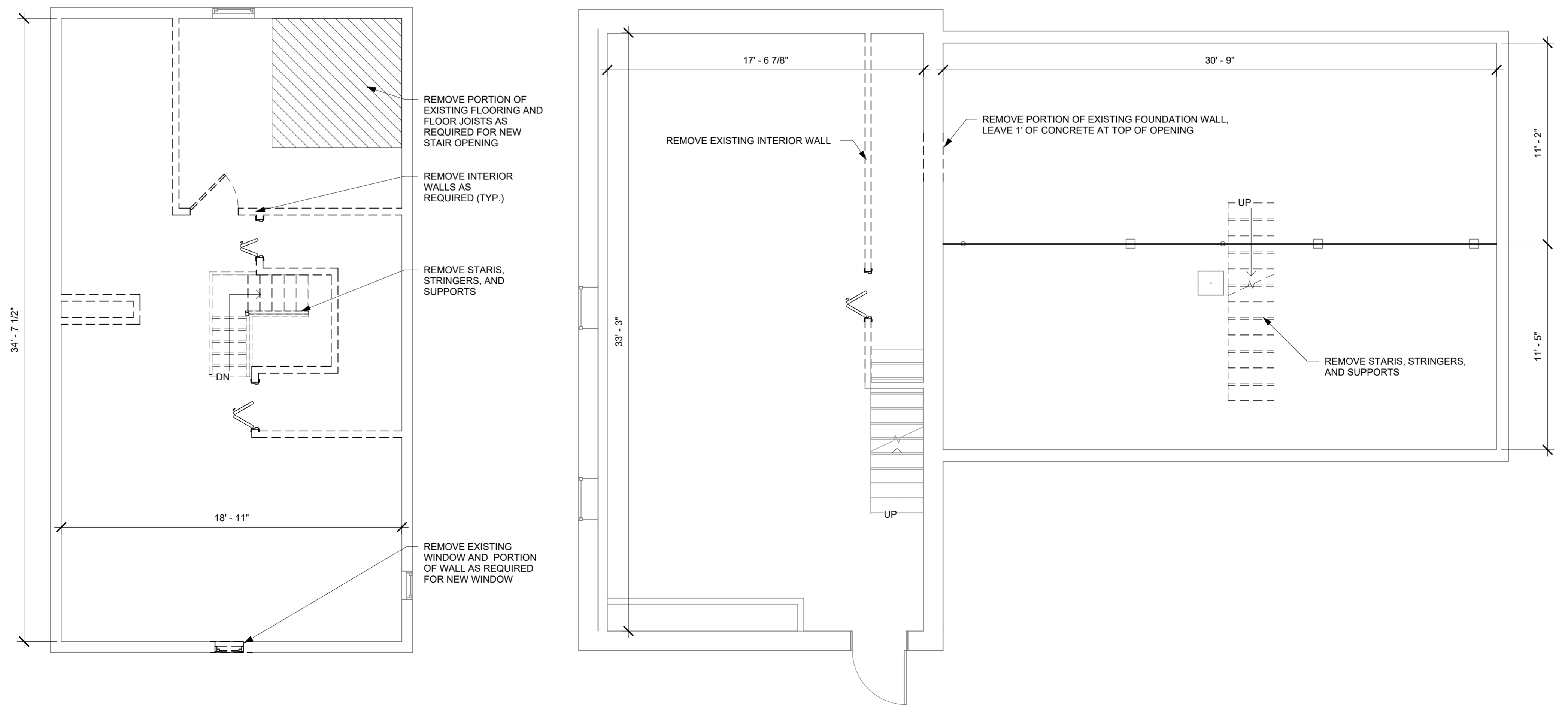
CS1.01

**DEMOLITION NOTES**

1. PRIOR TO SUBMITTING BID, CONTRACTOR SHALL FIELD VERIFY ACTUAL SCOPE OF DEMOLITION NECESSARY TO ACHIEVE RENOVATION AS DESIGNED.
2. CONTRACTOR SHALL COORDINATE ALL PHASES OF DEMOLITION WITH ARCHITECT AND OWNER PRIOR TO START OF WORK.
3. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY EXISTING CONDITIONS IN QUESTION TO DETERMINE WHETHER OR NOT THEY SHALL REMAIN.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE OWNER'S REQUIREMENTS AND STANDARD OPERATING PROCEDURES FOR DEMOLITION AND NEW CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THESE REQUIREMENTS WITH THE OWNER PRIOR TO BEGINNING WORK.
5. THE CONTRACTOR SHALL COORDINATE WITH LOCAL CODE OFFICIALS TO ENSURE THAT DEMOLITION OPERATIONS ARE CONDUCTED IN COMPLIANCE WITH ALL APPLICABLE CODES.
6. MAINTAIN STRUCTURAL INTEGRITY OF BUILDING. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED TO COMPLETE NEW CONSTRUCTION. USE METHODS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:
  - A. NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION OR ADJOINING CONSTRUCTION. CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SPACES TO AVOID MARRING EXISTING FINISHED SURFACES.
  - B. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONCEALED SPACES, VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STARTING FLAME-CUTTING OPERATIONS.
  - C. MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.
  - D. REMOVE DECAYED, VERMIN-INFESTED OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE.
  - E. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR FRAMING.
  - F. RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REMAIN TO CONDITION EXISTING BEFORE START OF DEMOLITION.
7. LIMIT USE OF THE PREMISES TO CONSTRUCTION ACTIVITIES IN AREAS INDICATED AS 'SCOPE OF PROJECT'. ALLOW OWNER OCCUPANCY AND USE BY OWNERS AND OWNER'S AGENTS AT ALL TIMES.
8. ALL DRIVEWAYS AND CIRCULATION PATHS SHALL REMAIN OPEN AND AVAILABLE TO THE BUILDING OWNER.
9. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF THE CONFLICT. SUBMIT A WRITTEN REPORT TO THE ARCHITECT AND OWNER BEFORE PROCEEDING.
10. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF ANY MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB THE MATERIALS. IMMEDIATELY NOTIFY THE OWNER.
11. PERFORM THE SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM THE SELECTIVE DEMOLITION.
12. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION.
13. WHERE UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE TO OTHER PARTS OF THE BUILDING BEFORE PROCEEDING. COORDINATE REQUESTS FOR UTILITY SHUT-DOWNS WITH THE OWNER A MINIMUM OF 48 HOURS PRIOR TO BEGINNING WORK.
14. CUT-OFF PIPE OR CONDUIT IN WALLS TO BE REMOVED. CAP, VALVE, OR PLUG AND SEAL THE REMAINING PORTION OF PIPE OR CONDUIT AFTER BYPASSING.
15. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT STRUCTURE TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND THE DEMOLITION AREA.
16. PROTECT WALLS, CEILINGS, FLOORS AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING DEMOLITION.
17. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AND TEMPORARY ENCLOSURES TO LIMIT DUST AND DIRT MIGRATION AND TO SEPARATE OCCUPIED AREAS FROM FUMES AND NOISE.
18. PROTECT EXISTING AIR HANDLING EQUIPMENT.
19. PROVIDE AND MAINTAIN INTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF ITEMS TO BE SELECTIVELY DEMOLISHED AND ITEMS WHICH ARE IMMEDIATELY ADJACENT TO THOSE BEING REMOVED.
20. PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION BY DEMOLITION, RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO ADJOINING CONSTRUCTION TO REMAIN IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING.
21. SWEEP THE PROJECT SITE BROOM CLEAN AND CHANGE FILTERS ON AIR-HANDLING EQUIPMENT UPON COMPLETION OF DEMOLITION.
22. PROVIDE RECORD DRAWINGS AT PROJECT CLOSE-OUT WHICH IDENTIFY AND ACCURATELY LOCATE CAPPED UTILITIES AND OTHER STRUCTURAL, ELECTRICAL OR MECHANICAL CONDITIONS.
23. UPON COMPLETION OF DEMOLITION, SPACE SHOULD BE STRIPPED, CLEANED AND MADE READY FOR NEW CONSTRUCTION.
24. LIGHTLY POWER-WASH ALL BRICK TO BE PAINTED. USE CARE AS TO NOT DAMAGE BRICK OR MORTAR JOINTS. TUCKPOINT ALL BRICK AS NEEDED.
25. DO NOT CUT STRUCTURAL MEMBERS DURING DEMOLITION WITHOUT PROPER SHORING. PERFORM ALL DEMOLITION ACCORDING TO LOCAL BUILDING CODES.



2 1ST FLOOR DEMOLITION PLAN  
 1/4" = 1'-0"



3 2ND FLOOR DEMOLITION PLAN  
 1/4" = 1'-0"

1 BASEMENT DEMOLITION PLAN  
 1/4" = 1'-0"

ISSUED	DESCRIPTION	DATE
PERMIT SET		09/13/04

REVISION	REV NUMBER	DESCRIPTION	DATE
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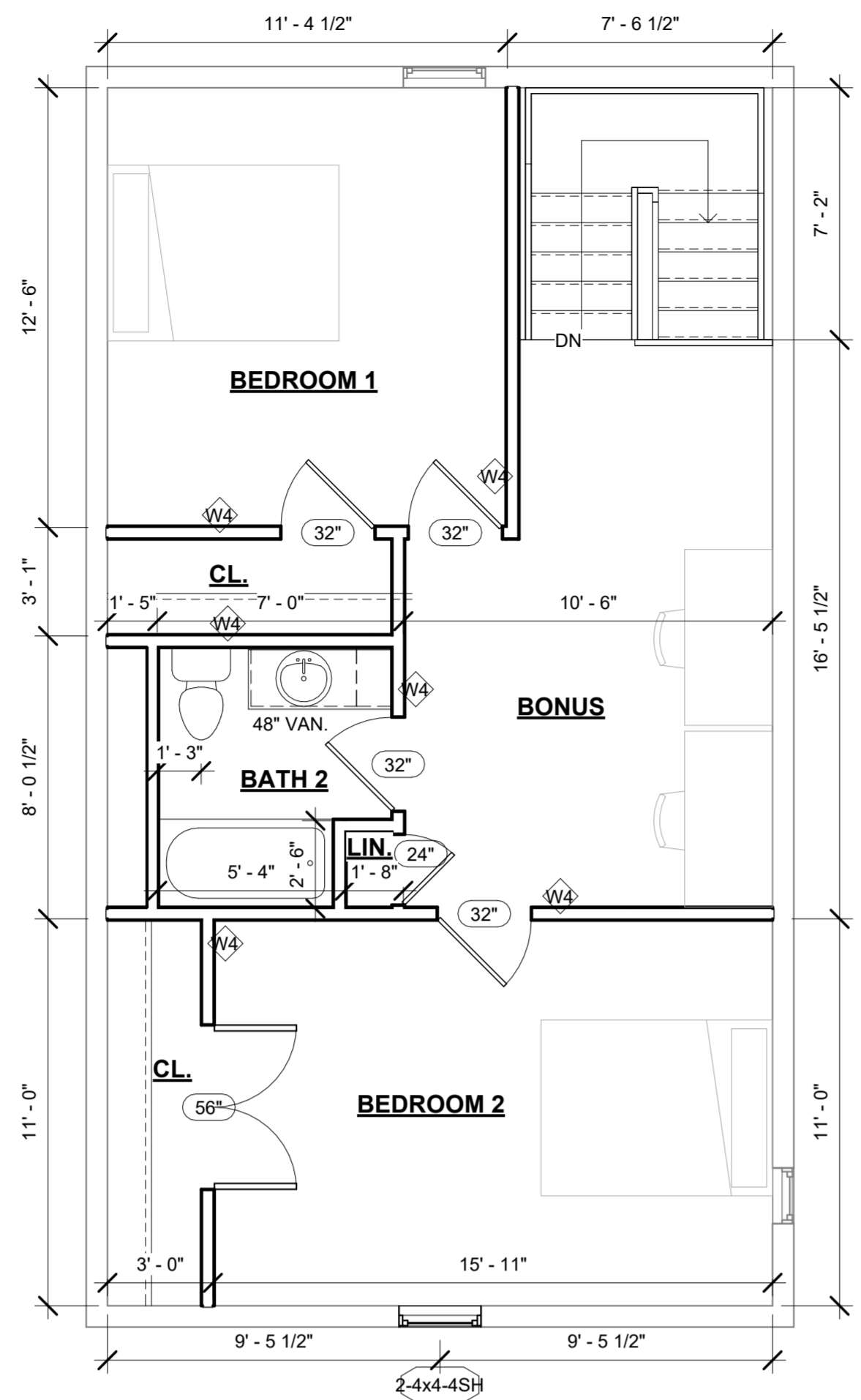
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**DEMOLITION PLAN + NOTES**

JOB NUMBER: 22000

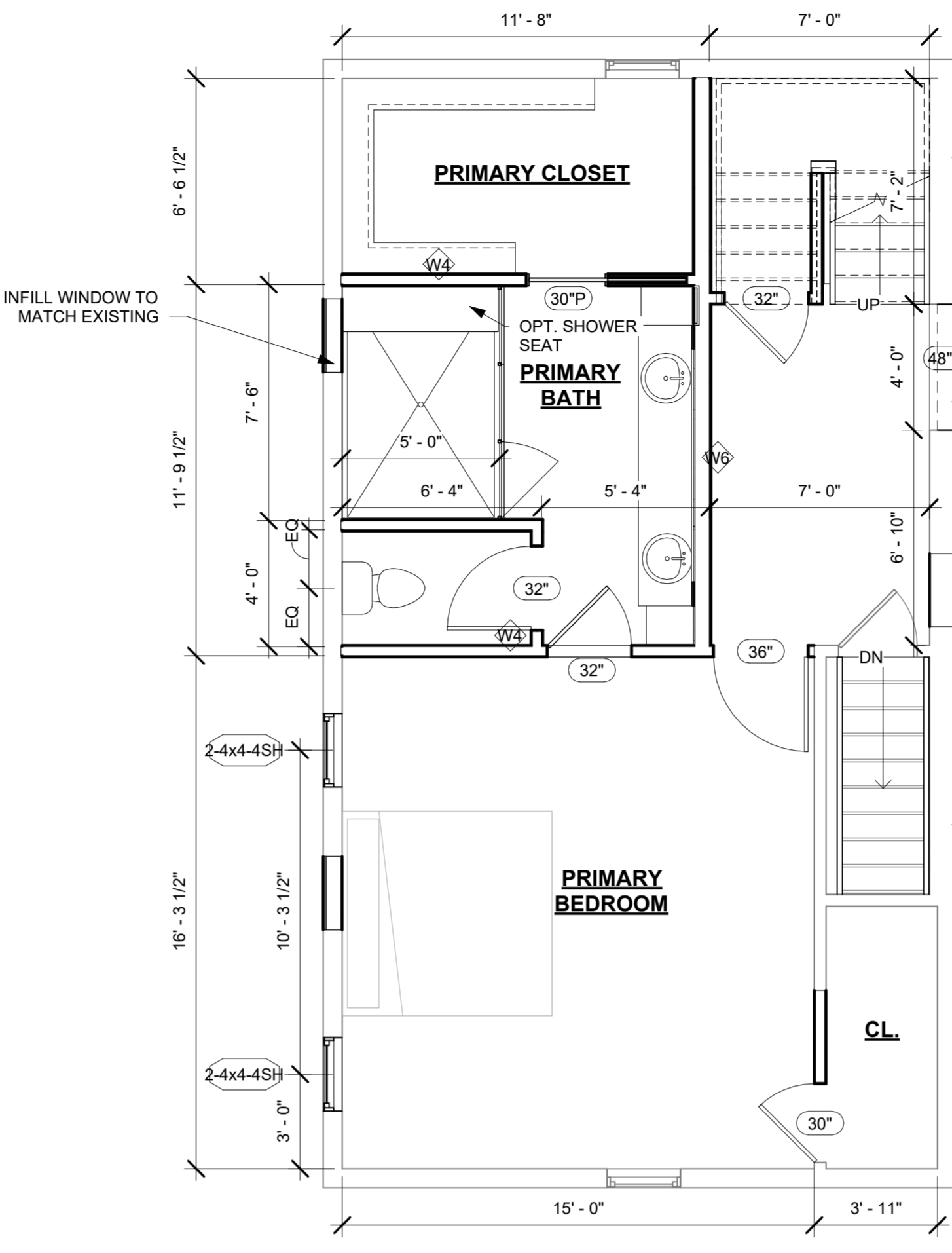
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**INTERIOR RENOVATION**

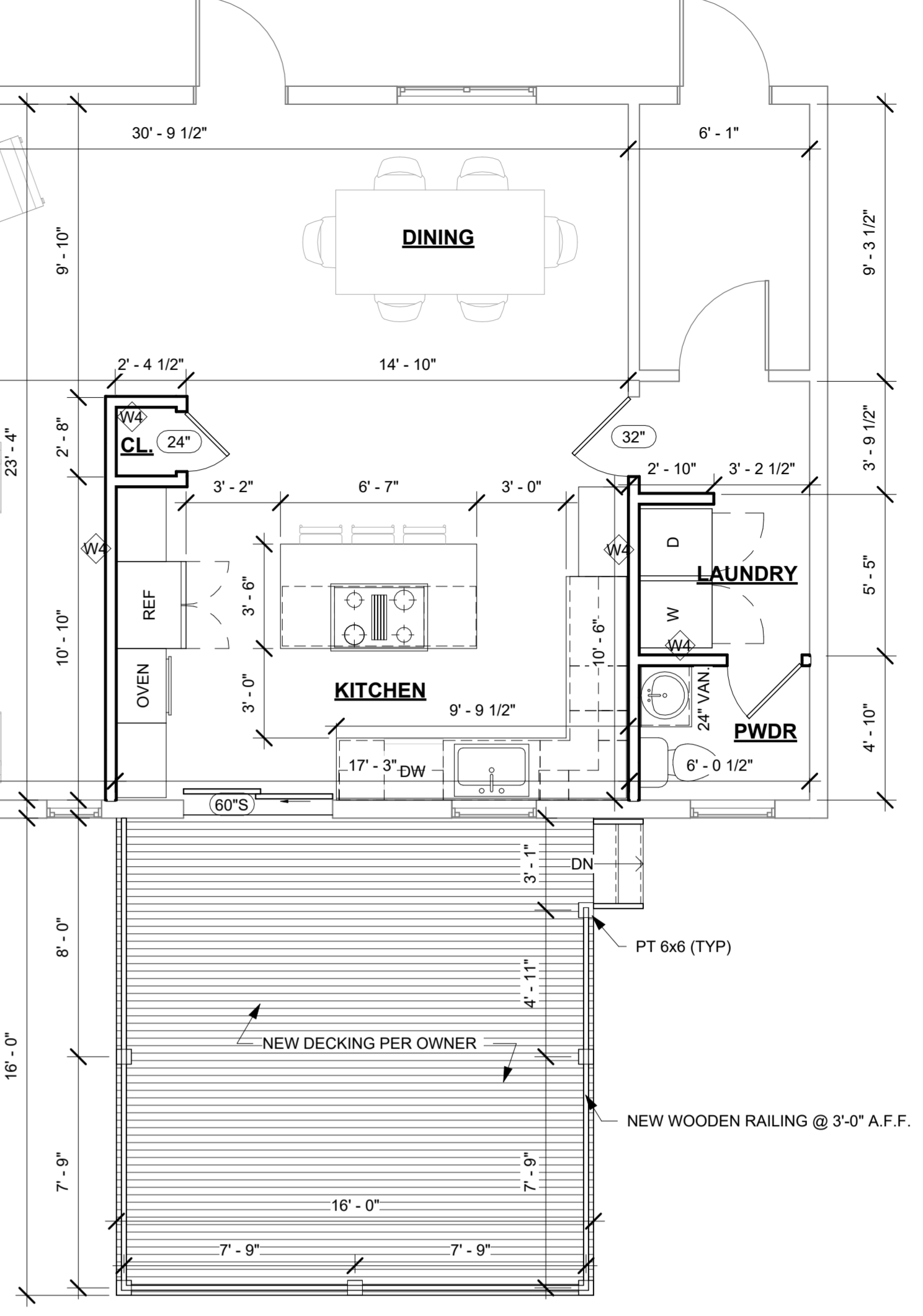
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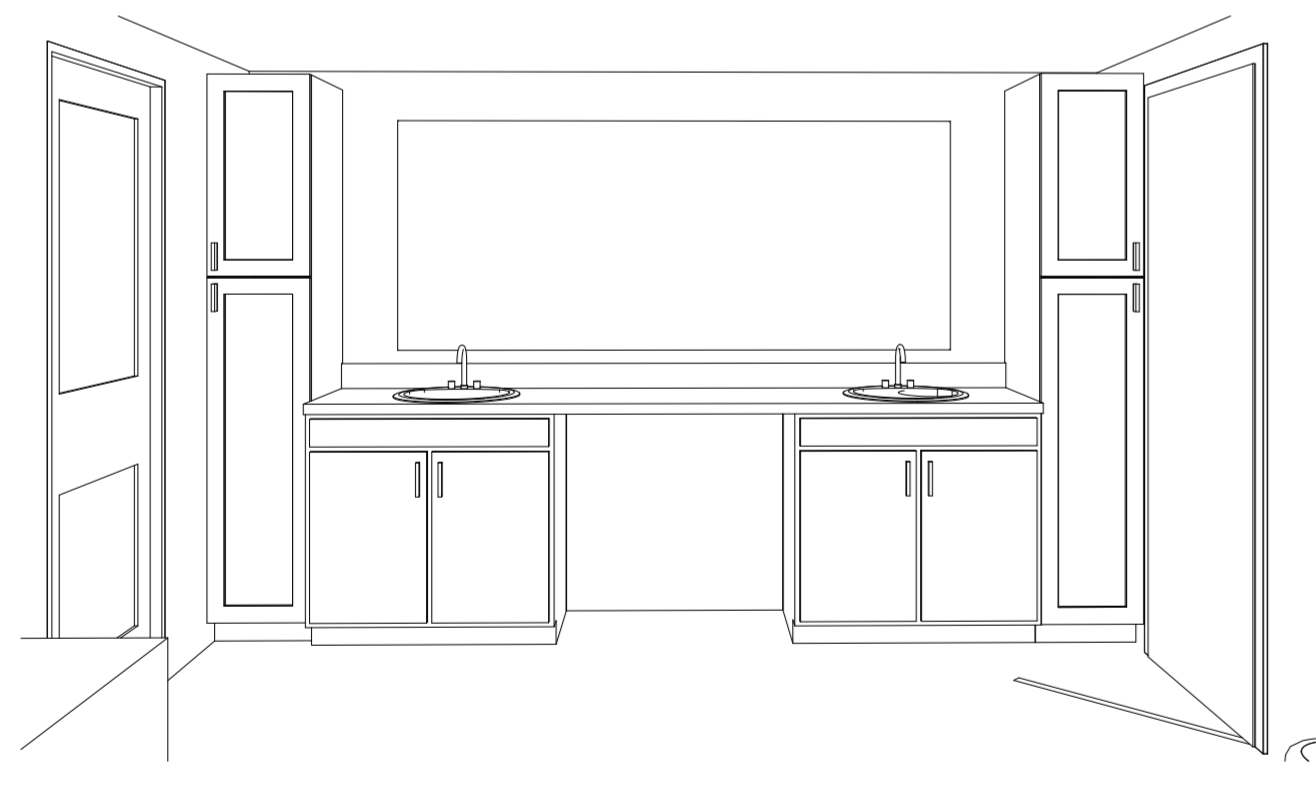
3 2ND FLOOR - NEW CONSTRUCTION  
 1/4" = 1'-0"



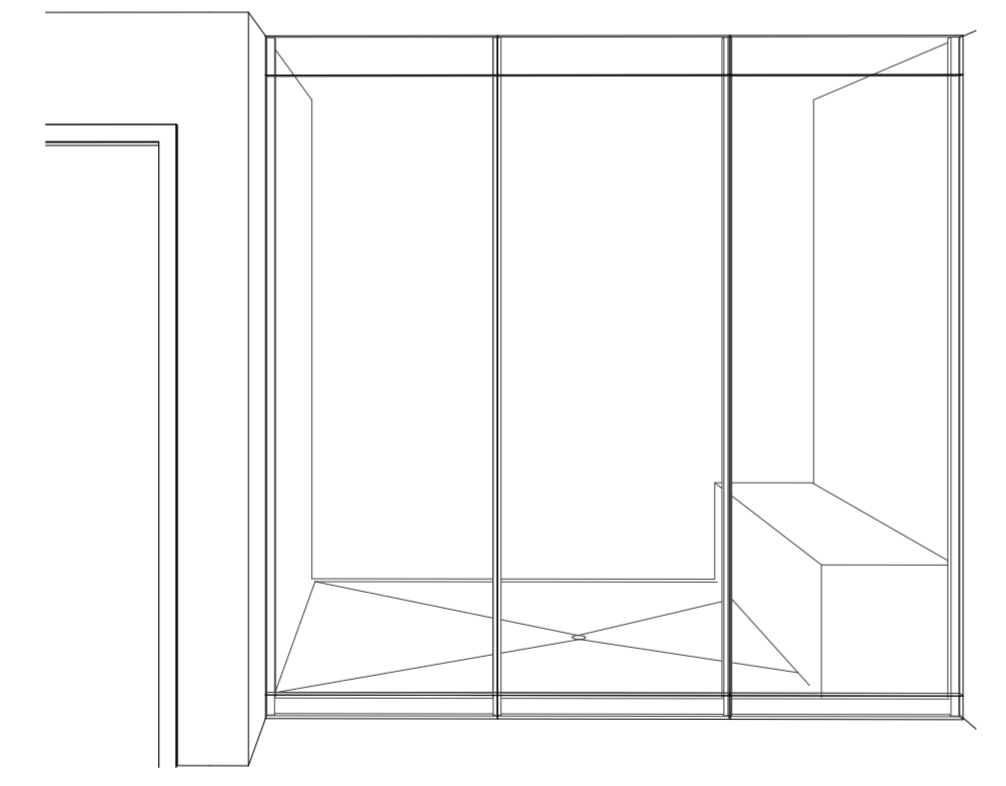
2 1ST FLOOR - NEW CONSTRUCTION  
 1/4" = 1'-0"



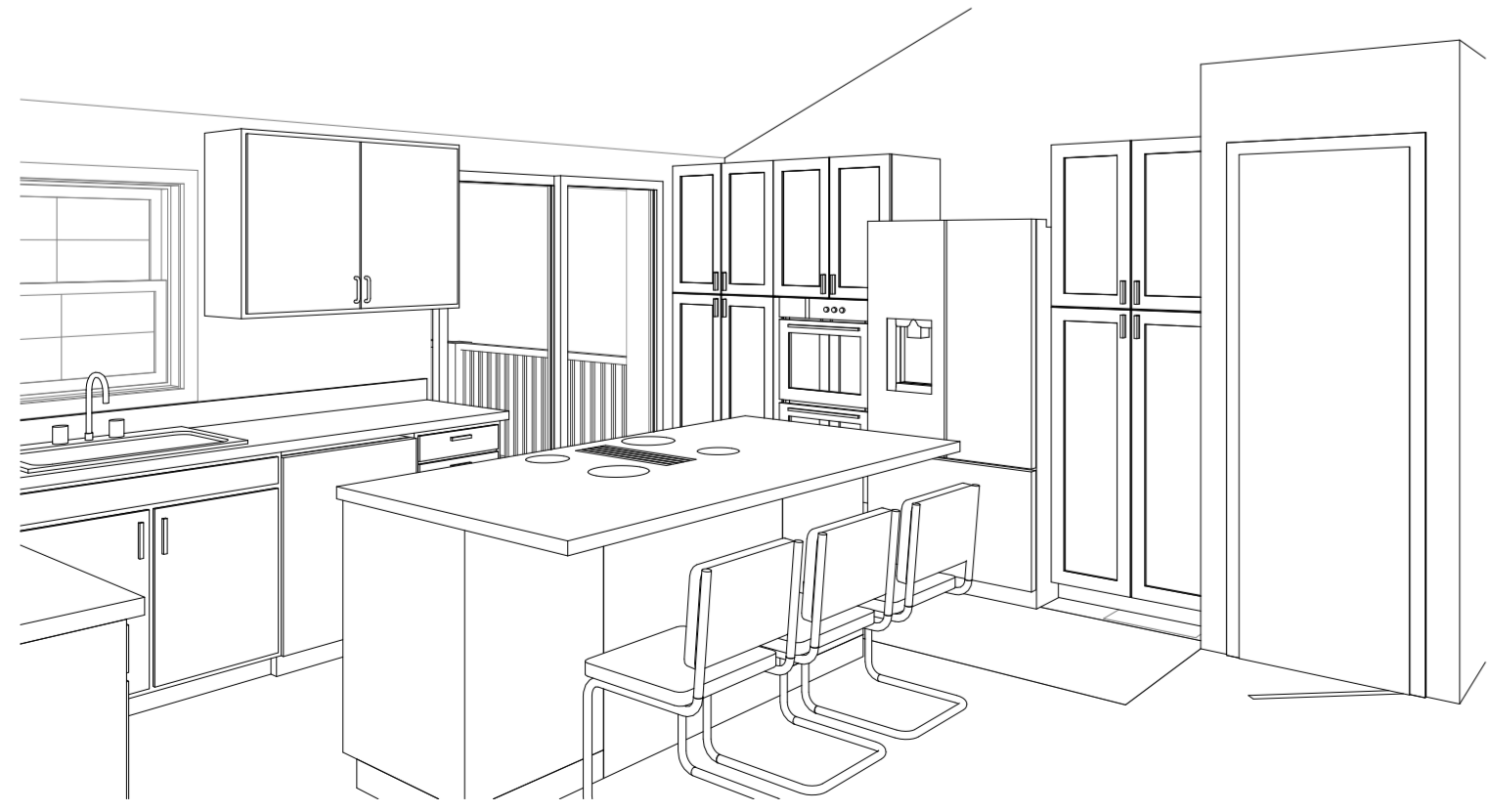
1 BASEMENT - NEW CONSTRUCTION  
 1/4" = 1'-0"



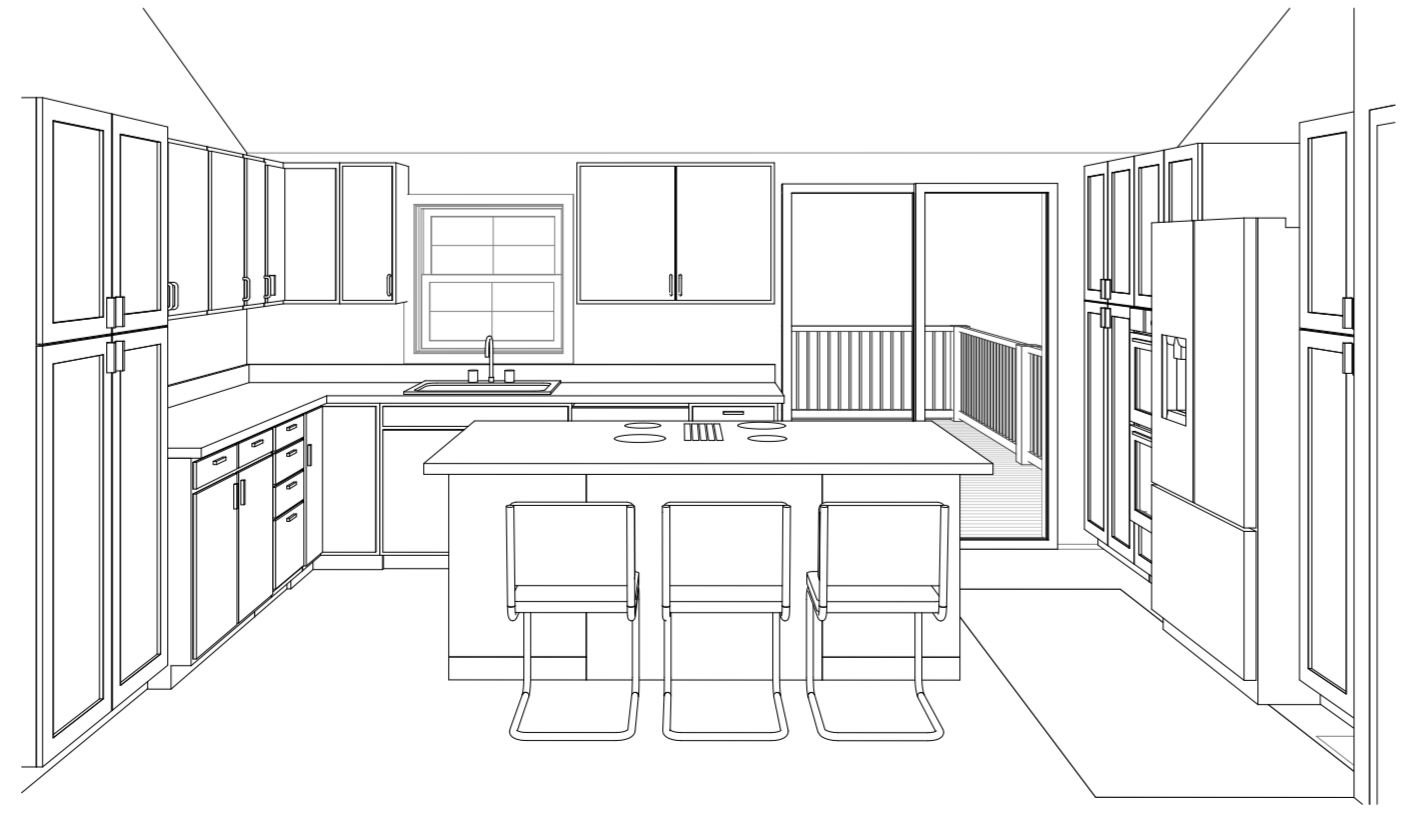
7 PRIMARY BATH 3D VIEW 2



6 PRIMARY BATH 3D VIEW 1



5 KITCHEN 3D VIEW 2



4 KITCHEN 3D VIEW 1

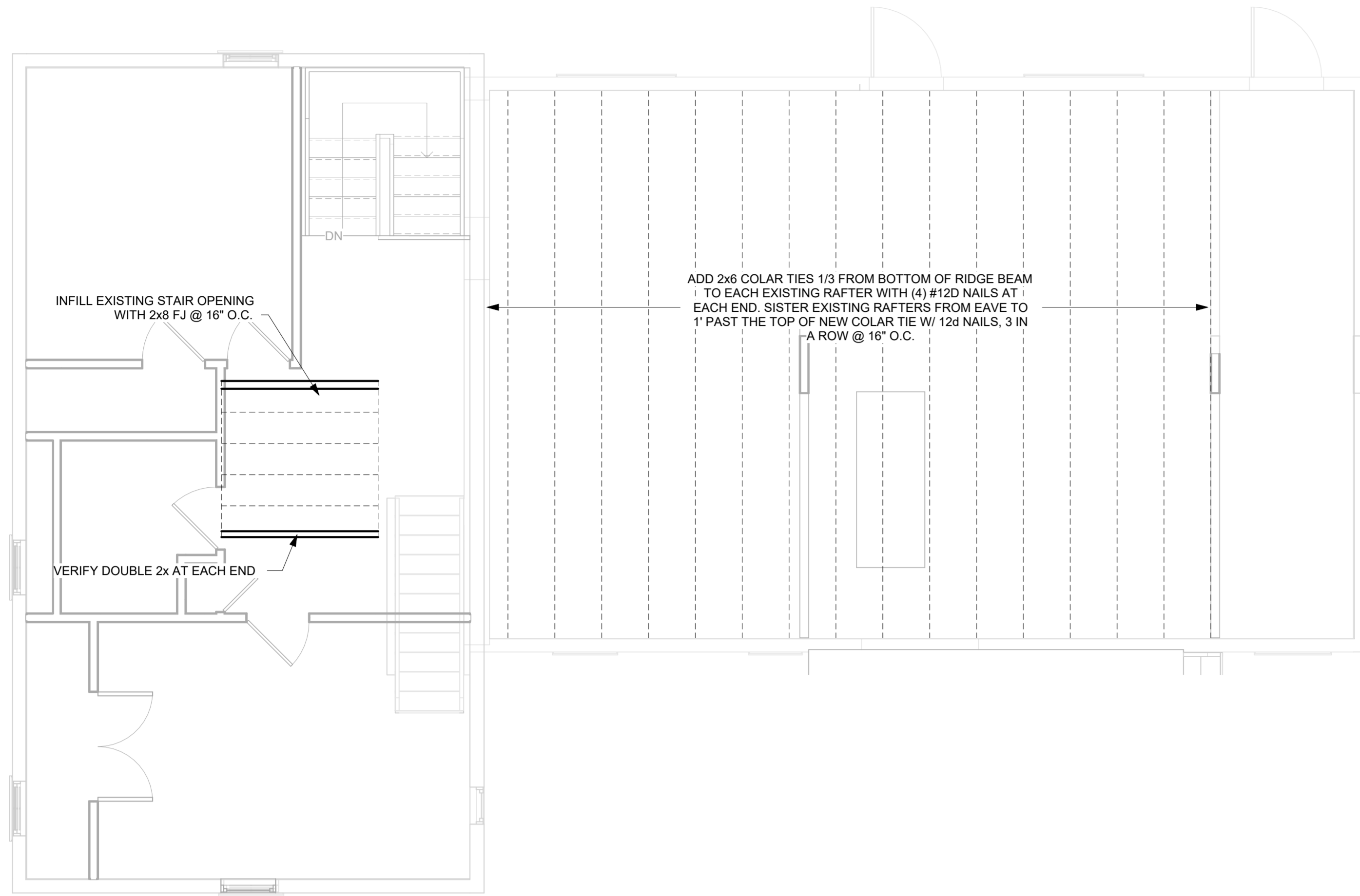
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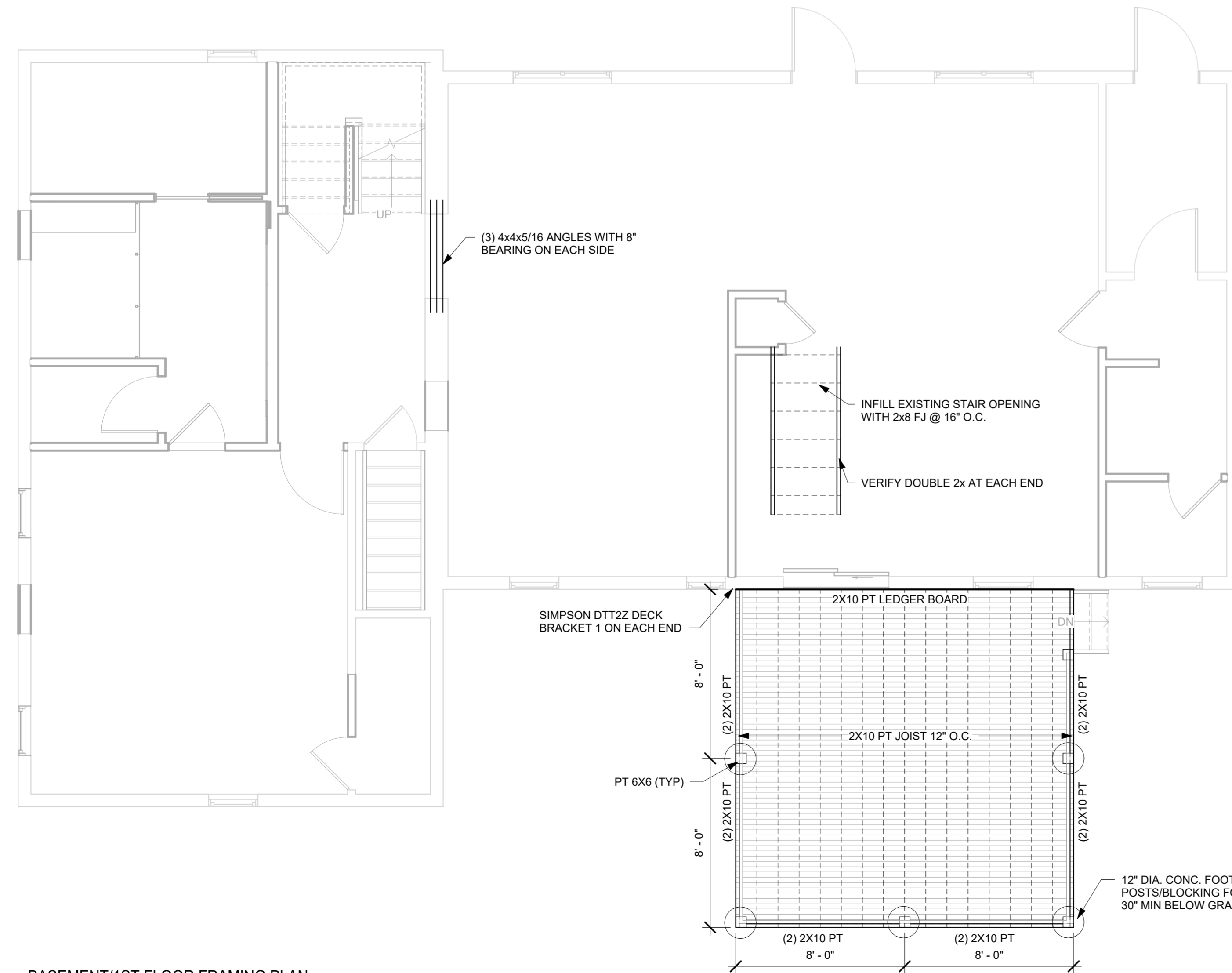
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**FLOOR PLANS**

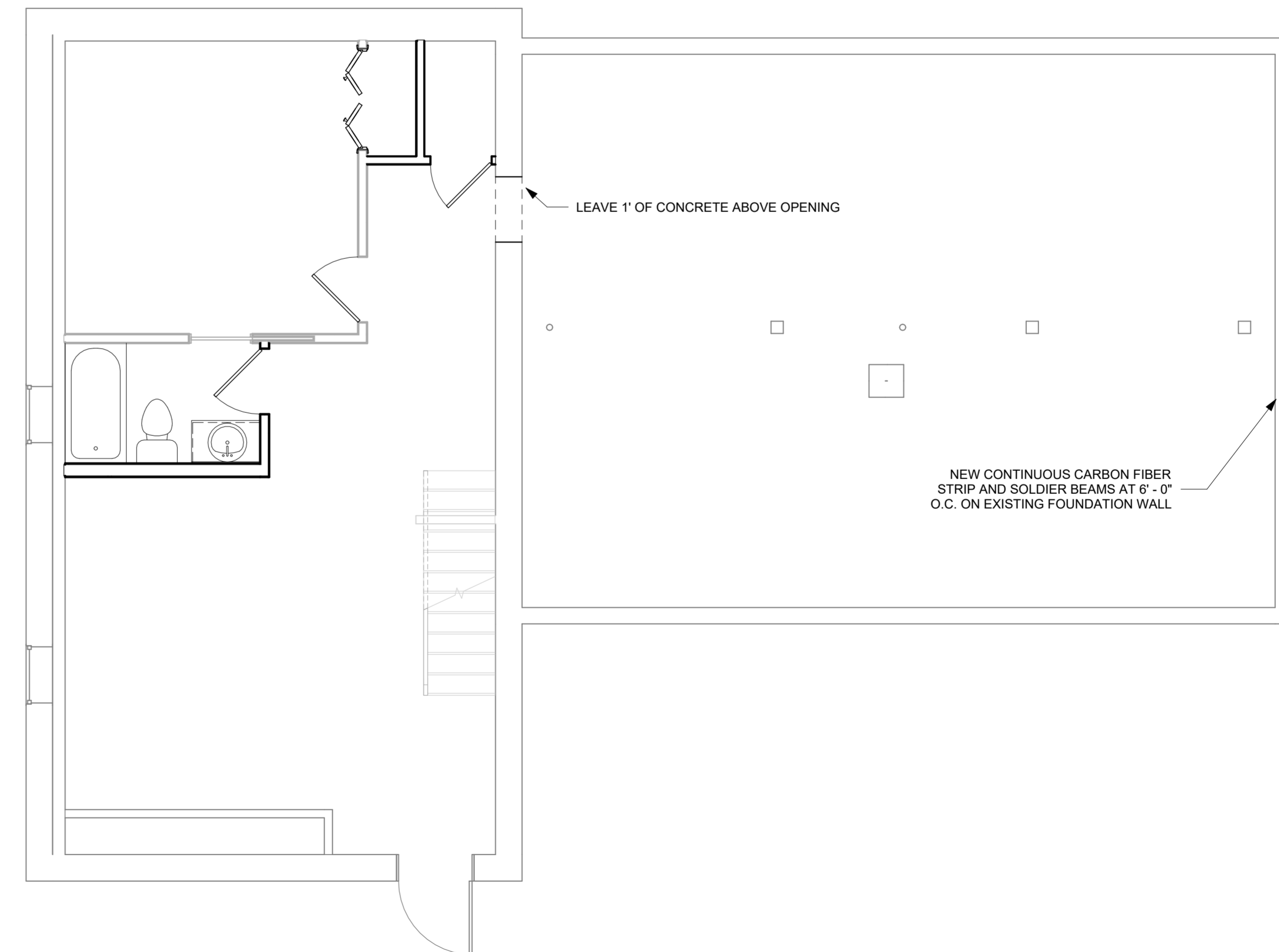
JOB NUMBER: 22000



**3** 1ST / 2ND FLOOR FRAMING PLAN  
 1/4" = 1'-0"



**2** BASEMENT/1ST FLOOR FRAMING PLAN  
 1/4" = 1'-0"



**1** BASEMENT FRAMING / STRUCTURAL PLAN  
 1/4" = 1'-0"

ISSUED	DESCRIPTION	DATE
PERMIT SET		09/13/24

REVISION	REV NUMBER	DESCRIPTION	DATE
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SHEET NAME:

**FRAMING PLANS**

JOB NUMBER: 22000

**A1.02**

BUILDING INSULATION SCHEDULE			
LOCATION/ASSEMBLY	R-VALUE	U-VALUE	SHGC
ROOFS: INSULATION ENTIRELY ABOVE DECK ATTIC INSULATION	R-49 R-49		
WALLS: ABOVE GRADE, WOOD-FRAMED (EXT) ABOVE GRADE, MASS BELOW GRADE, BASEMENT	R-20 OR 13+5cont R-8/R-13 R-10/R-13		
FLOORS: MASS WOOD FRAMING UNHEATED SLABS-ON-GRADE	R-19 R-19 R-10 TO 2' - 0"		
DOORS: OPAQUE, SWINGING OPAQUE, ROLL-UP OR SLIDING		0.60 1.20	
FENESTRATION: STOREFRONT ENTRANCE DOOR ALL OTHERS (VINYL) EXTERIOR GLASS/METAL		0.35 0.35 0.35 0.55	0.40 0.40 0.40 0.40

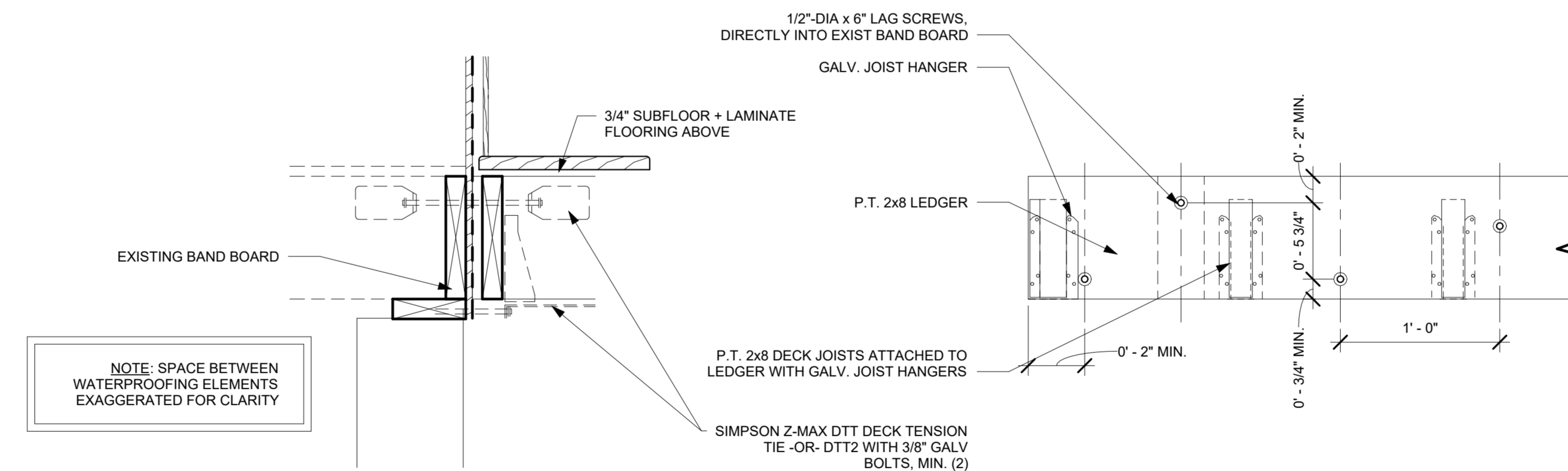
HEADER SCHEDULE		
SPAN	HEADER SIZE	SUPPORT CONDITION
0' TO 2'-11"	(2)2x4	
3'-0" TO 4'-5"	(2)2x6	
4'-6" TO 5'-11"	(2)2x8	
SPAN	HEADER SIZE	SUPPORT CONDITION
6'-0" TO 6'-11"	(2)2x12	
7'-0" TO 10'-0"	(2)12" LVL	
GARAGE DOOR	(2)16" LVL	
MASONRY TYPE	LINTEL	COMMENTS
4" BRICK	L6x6x5/16	

DOOR SCHEDULE					
MARK	TYPE	WIDTH	HEIGHT	COUNT	COMMENTS
24"	Single Interior Doors	2' - 0"	6' - 8"	2	
30"	Single Interior Doors	2' - 6"	6' - 8"	3	
30"P	Door-Interior-Single-Pocket-2_Panel-Wood	2' - 6"	6' - 8"	2	
32"	Single Interior Doors	2' - 8"	6' - 8"	10	
32"O	Door-Opening	2' - 8"	6' - 8"	1	
36"	Single Interior Doors	3' - 0"	6' - 8"	1	
48"	4_Panel_Bifold_Door_18619	4' - 0"	7' - 0"	1	
48"O	Door-Opening	4' - 0"	6' - 8"	1	
56"	Double Interior Doors	4' - 8"	6' - 8"	1	
60"S	Door-Double-Sliding	5' - 0"	6' - 8"	1	

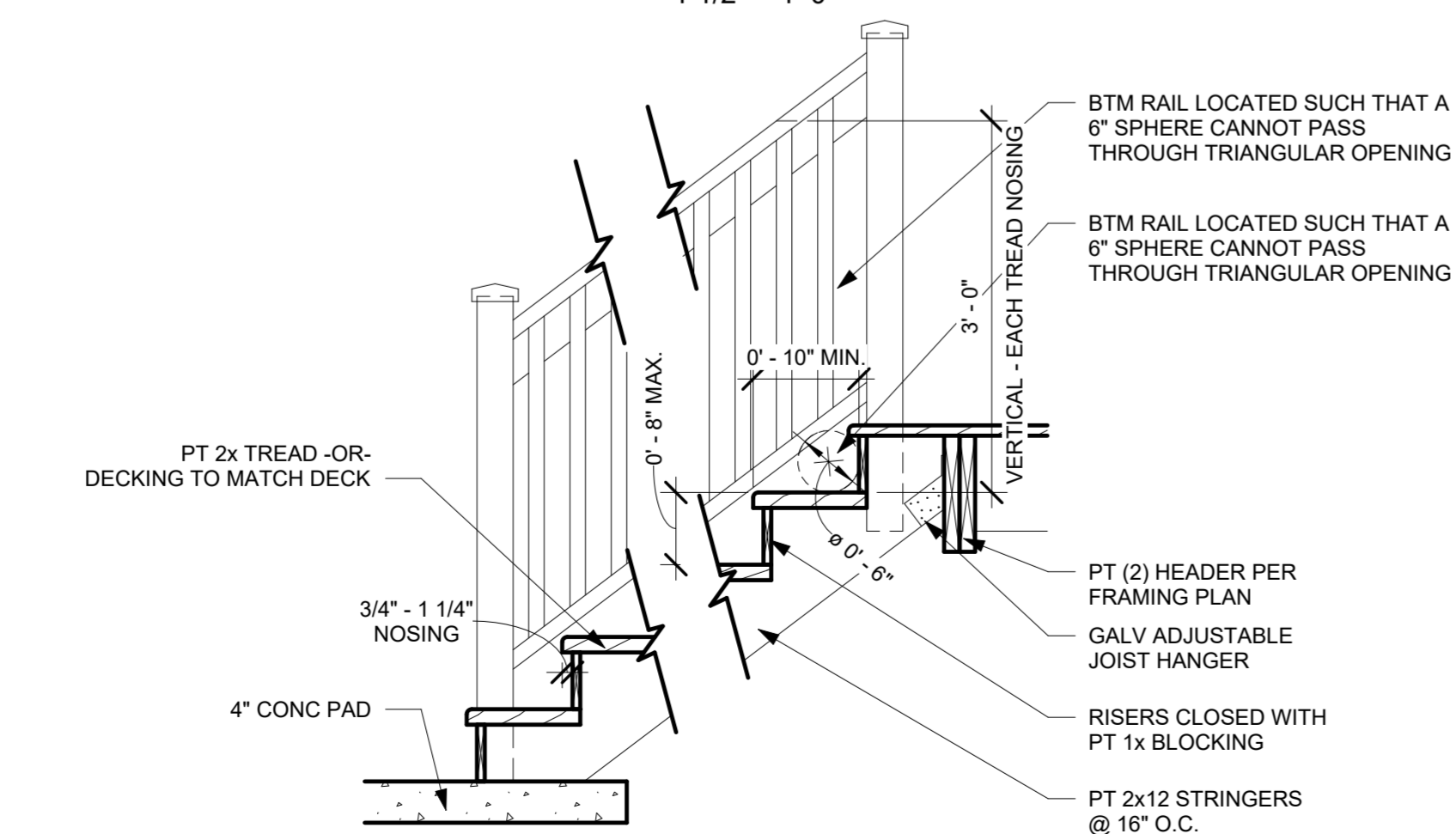
WINDOW SCHEDULE							
MARK	TYPE	WIDTH	HEIGHT	SILL HEIGHT	LEVEL	COUNT	COMMENTS
2-4x4-4SH	Window-Single-Hung	2' - 4"	4' - 4"	2' - 1"	Level 1	2	
2-4x4-4SH	Window-Single-Hung	2' - 4"	4' - 4"	2' - 1"	Level2	1	

WINDOW NOTES:

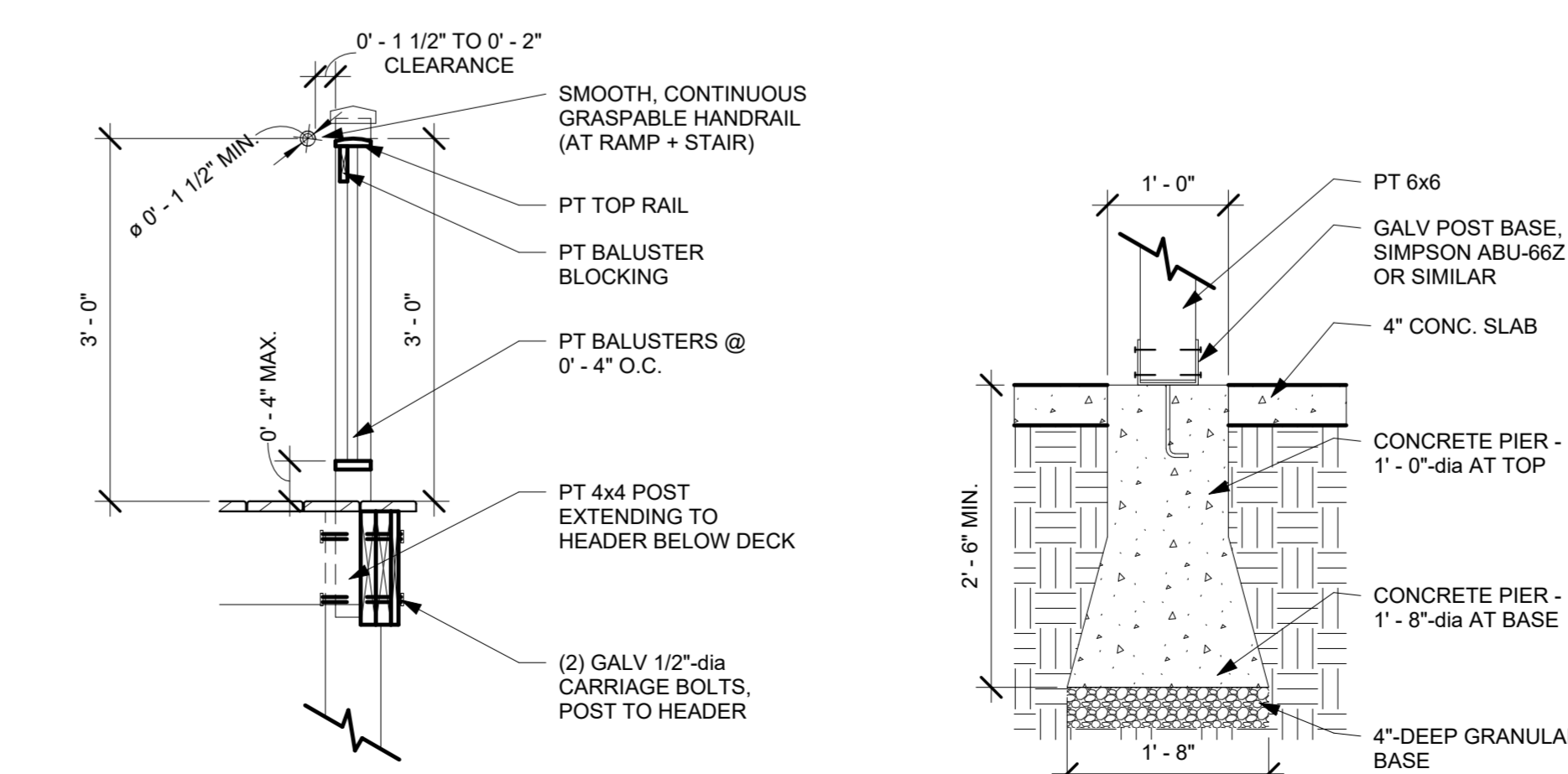
- EACH BEDROOM TO HAVE AT LEAST ONE (1) CODE-DEFINED OPERABLE 'EGRESS' WINDOW OF DIMENSIONS LISTED IN 2018IRC R310.2.1:
  - NET CLEAR AREA OF NOT LESS THAN 5.7 sq ft WHEN FULLY OPEN (5.0 sq ft FOR WINDOWS AT GRADE LEVEL)
  - NET CLEAR HEIGHT OF 24" MIN
  - NET CLEAR WIDTH OF 20" MIN
  - WINDOW SILL HEIGHT OF 3' - 6" AFF MAX
- ALL LIVING SPACES TO HAVE AT LEAST ONE (1) OPERABLE WINDOW OR DOOR.
- WINDOWS LOCATED IN 'HAZARDOUS LOCATIONS' AS DEFINED BY IRC R308.4 TO BE TEMPERED. LOCATIONS INCLUDE:
  - ALL DOOR GLAZING
  - WINDOWS IN WHICH A VERTICAL EDGE IS WITHIN 24" OF A DOOR (HINGE-SIDE) IN THE CLOSED POSITION AND THE BOTTOM EDGE OF THE GLAZING IS WITHIN 60" OF FINISHED FLOOR (EXCEPT FOR DOORS TO CLOSETS LESS THAN 36" IN DEPTH)
  - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 1' - 0" AFF
  - WINDOWS INSIDE OF OR WITHIN 60" (MEASURED HORIZONTALLY) OF A BATHTUB OR SHOWER
  - WINDOWS ADJACENT TO STAIRS WITHIN 36" ABOVE STAIR SURFACE
  - WINDOWS LESS THAN 36" ABOVE THE BOTTOM LANDING OF THE STAIR AND WITHIN 60" OF THE 1ST RISER
  - SINGLE PANE OF GLASS MORE THAN 9 sq ft IN AREA



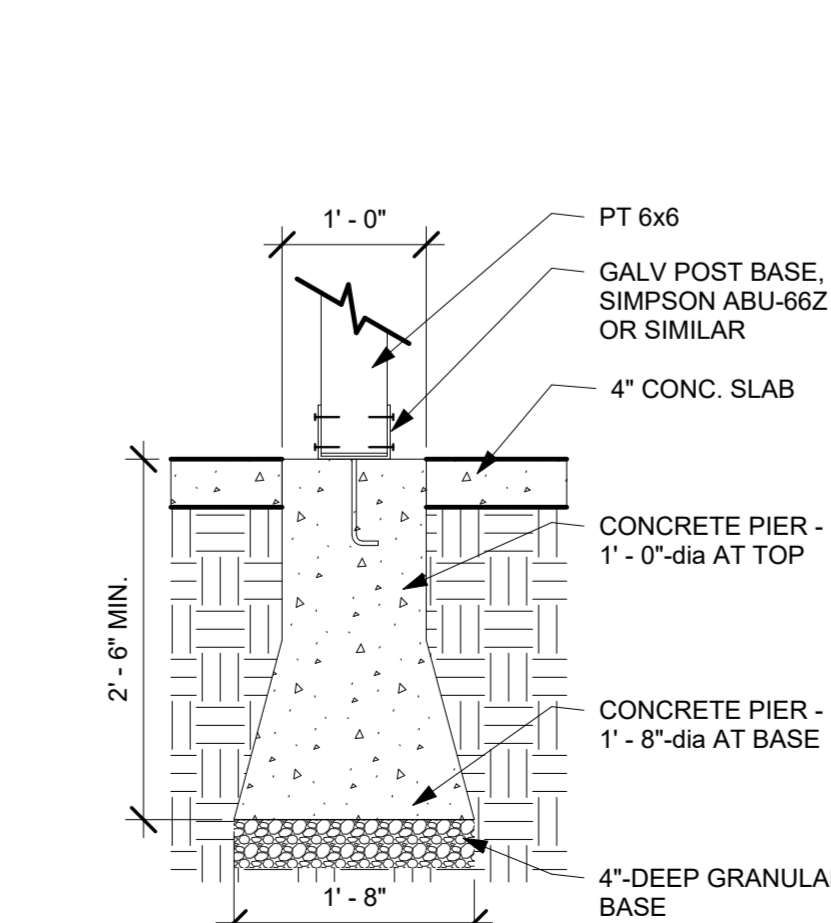
LEDGER DETAIL  
1 1/2" = 1'-0"



DECK STAIR DETAIL  
3/4" = 1'-0"



RAILING DETAIL  
3/4" = 1'-0"



DECK PIER DETAIL  
3/4" = 1'-0"

PARTITION NOTES	
1. NON-LOAD BEARING PARTITION SHOWN. REFER TO STRUCTURAL DRAWINGS FOR LOAD BEARING STUD INFO.	
2. PROVIDE CONT. ACOUSTIC BATT INSULATION IN THE STUD CAVITY AT PARTITIONS WITH AN "A" DESIGNATION. SEAL ALL PENETRATIONS AND VOIDS.	
3. REFER TO SPECIFICATION SECTION FOR FIRE STOPPING INFORMATION.	
CORE TYPE	WOOD STUD
UL DESIGN NO.	NA
FIRE RATING	NA
STC/NRC RATING	NA

W6		INTERIOR PARTITION TYPE NON-RATED 6" NOM. WOOD STUD PARTITION	
PARTITION NOTES			
1. NON-LOAD BEARING PARTITION SHOWN. REFER TO STRUCTURAL DRAWINGS FOR LOAD BEARING STUD INFO.			
2. PROVIDE CONT. ACOUSTIC BATT INSULATION IN THE STUD CAVITY AT PARTITIONS WITH AN "A" DESIGNATION. SEAL ALL PENETRATIONS AND VOIDS.			
3. REFER TO SPECIFICATION SECTION FOR FIRE STOPPING INFORMATION.			
CORE TYPE	WOOD STUD		
UL DESIGN NO.	N/A		
FIRE RATING	N/A		
STC/NRC RATING	NA		

ISSUED	DATE
DESCRIPTION	
PERMIT SET	09/10/24

REVISION	DATE
REV NUMBER DESCRIPTION	

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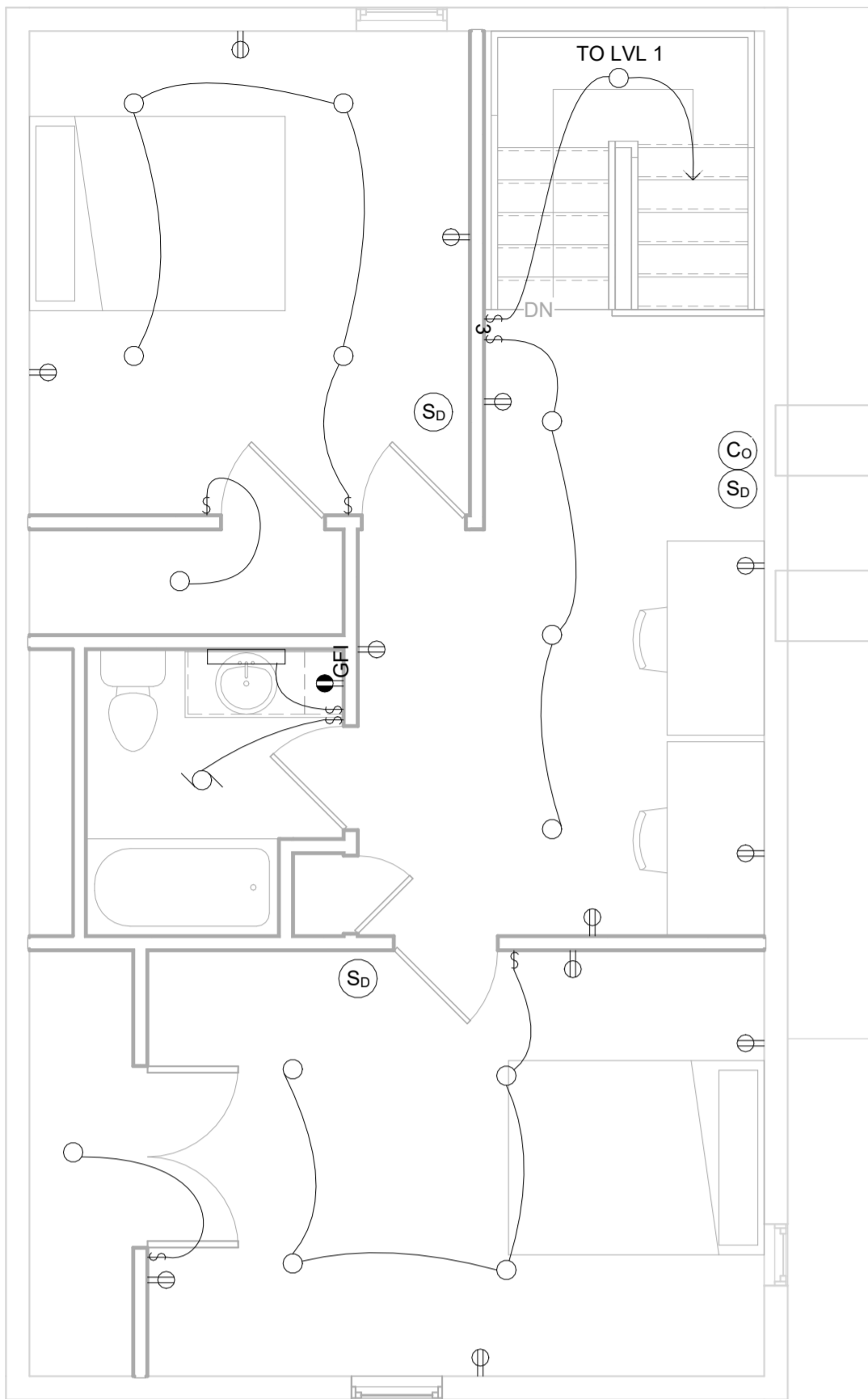
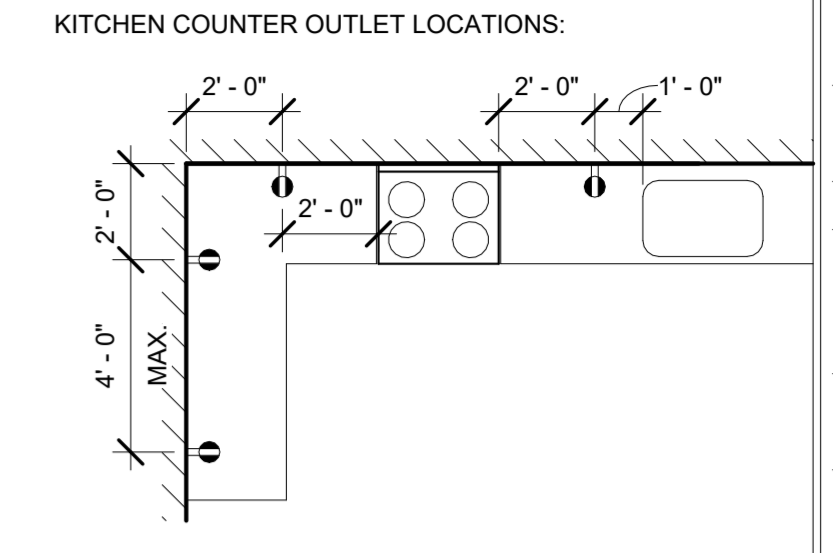
SCHEDULES + DETAILS

JOB NUMBER: 22000

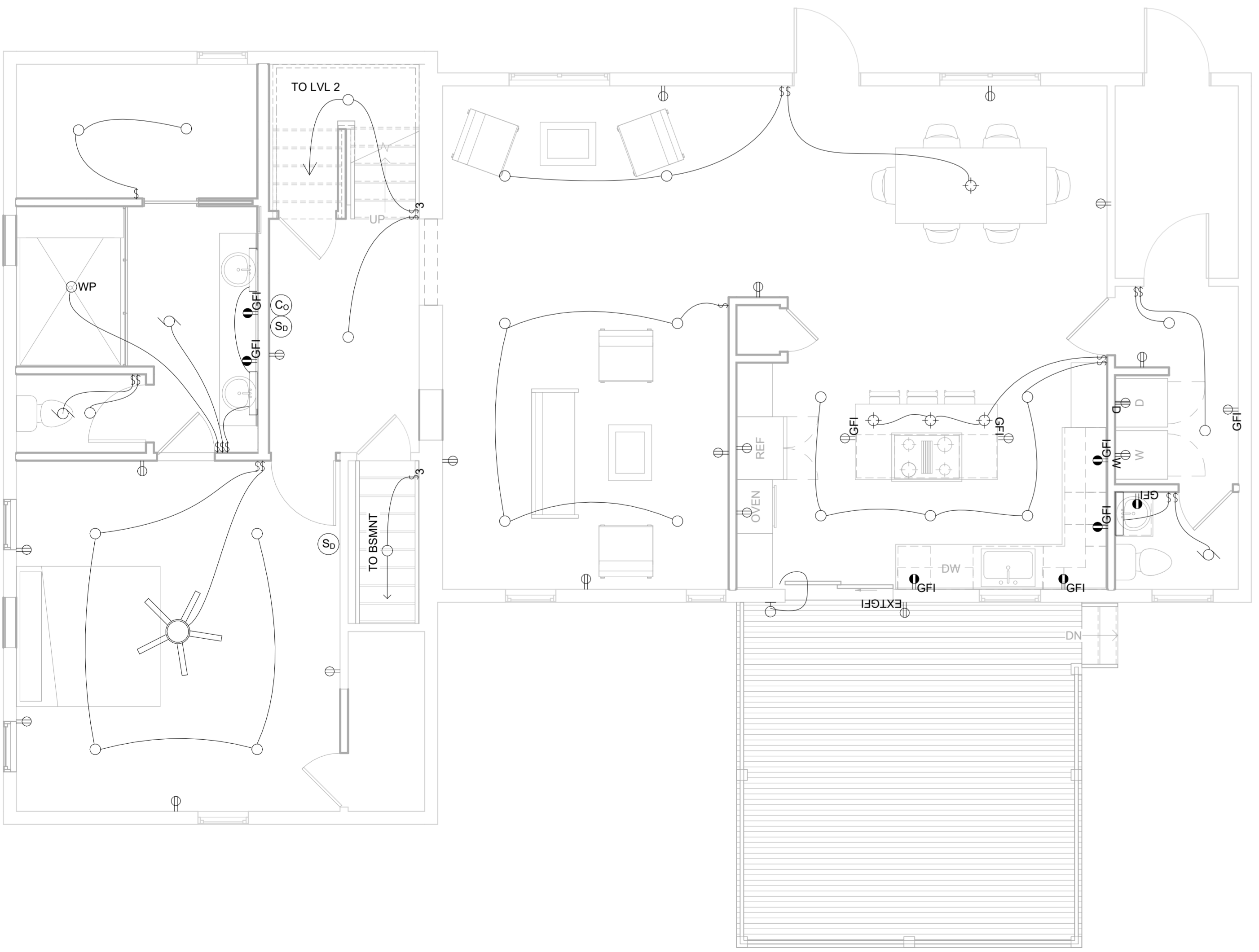
A3.01

ELECTRICAL LEGEND	
	DUPLEX OUTLET
	220V DUPLEX OUTLET
	DUPLEX OUTLET - COUNTER-HEIGHT
	VANITY LIGHT
	CEILING-MOUNTED FIXTURE
	FLUSH-MOUNTED CEILING FAN + LIGHT
	CEILING-MOUNTED JUNCTION BOX
	RECESSED CAN LIGHT FIXTURE
	CEILING-MOUNTED PENDANT FIXTURE
	WALL SCONCE MOUNTED @ 6' - 8" A.F.F.
	UNDERCABINET LIGHT (KITCHEN)
	EXHAUST FAN
	CEILING-MOUNTED CARBON MONOXIDE DETECTOR
	CEILING-MOUNTED HARD-WIRED SMOKE DETECTOR

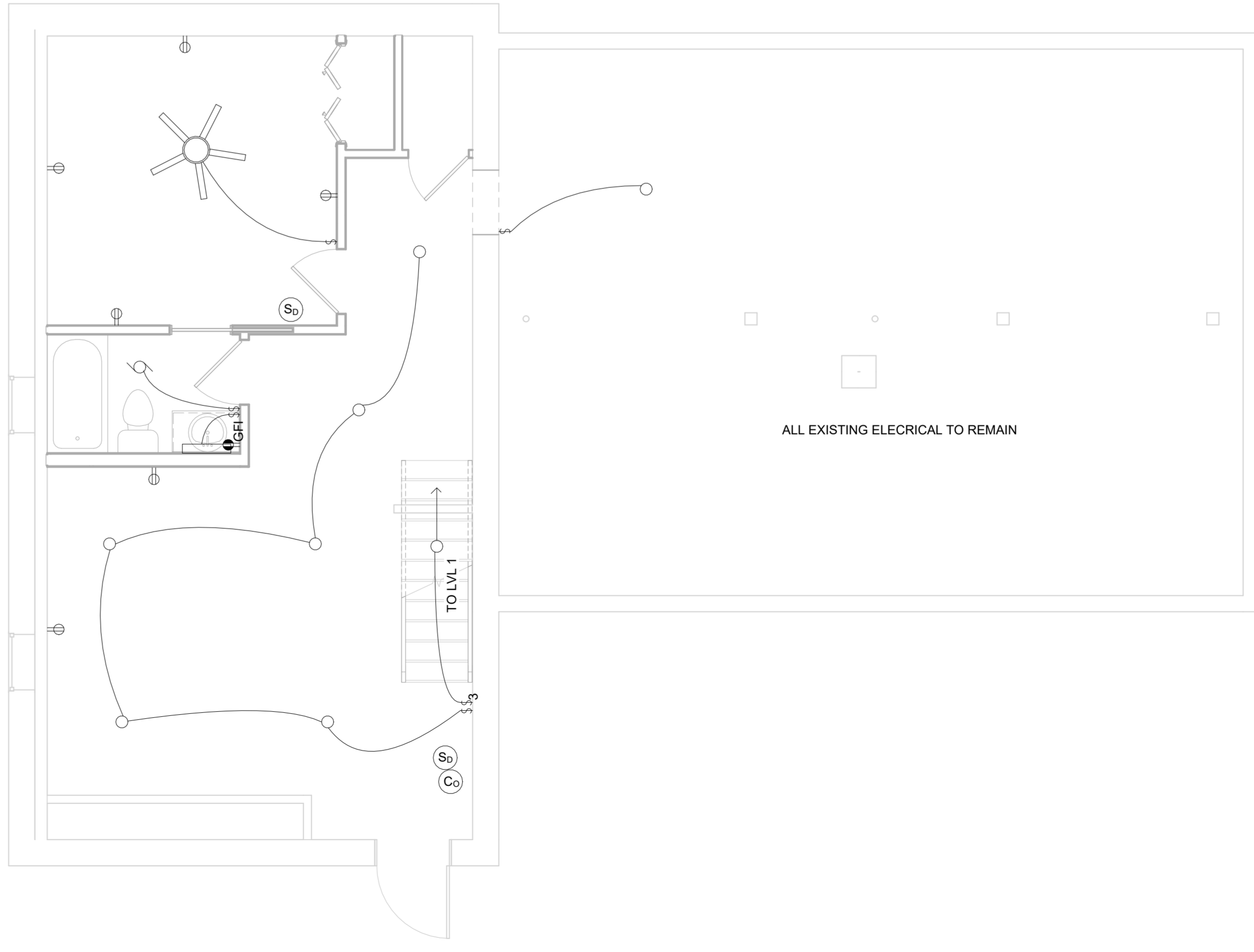
- ELECTRICAL NOTES**
- ALL WIRING + ELECTRICAL RECEPTACLES (**SHOWN AND NOT SHOWN**) TO GROUNDED (3-PRONG).
  - EACH BATHROOM TO HAVE AT LEAST ONE (1) GROUND-FAULT CIRCUIT INTERRUPTOR (GFI) OUTLET AT COUNTER HEIGHT.
  - KITCHEN OUTLETS TO BE SPACED PER DIAGRAM BELOW. ALL OUTLETS AT COUNTER HEIGHT TO BE GFI. NO COUNTER SPACE TO BE MORE THAN 2'-0" FROM AN OUTLET.
  - KITCHEN ISLANDS AND PENINSULA TO HAVE AN ELECTRICAL OUTLET, LOCATED WITHIN 1'-8" OF COUNTER.
  - OUTLETS IN ALL OTHER PRIMARY 'LIVING' AREAS (LIVING ROOM, DINING, BEDROOMS, ETC) TO BE SPACED SUCH THAT NO POINT ON ANY WALL TO BE MORE THAN 6'-0" FROM AN OUTLET.
  - ALL OUTLETS IN EXTERIOR OR 'UNFINISHED' SPACES (INCLUDING GARAGE) TO BE GFCI PROTECTED. ALL OUTLETS LOCATED IN EXTERIOR LOCATIONS SHALL HAVE A WATERPROOF COVER AND MARKED 'EXTRA-DUTY'.
  - ALL 15- AND 20-AMP CIRCUITS SERVING BEDROOMS TO BE ARC-FAULT CIRCUIT INTERRUPTORS (AFCI).
  - WIRED SMOKE DETECTORS + CARBON MONOXIDE DETECTORS TO BE PROVIDED IN EACH BEDROOM / SLEEPING AREA, LIVING AREA AND ON EACH FLOOR OF EACH UNIT PER 2018 IRC 314 + 315. CONTRACTOR TO VERIFY PROPER FUNCTION OF SMOKE / CARBON MONOXIDE DETECTORS PRIOR TO HAND-OVER TO OWNER.



3 2ND FLOOR REFLECTED CEILING & ELECTRICAL PLAN  
 1/4" = 1'-0"



2 1ST FLOOR REFLECTED CEILING & ELECTRICAL PLAN  
 1/4" = 1'-0"



1 BASEMENT REFLECTED CEILING & ELECTRICAL PLAN  
 1/4" = 1'-0"

ALL EXISTING ELECTRICAL TO REMAIN

ISSUED	DATE
DESCRIPTION	
PERMIT SET	09/10/24

REVISION	DESCRIPTION	DATE
REV NUMBER		

REAL

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SHEET NAME:  
**REFLECTED CEILING + ELECTRICAL PLANS**

JOB NUMBER: 22000

**A6.01**